

COUNTY OF SAN MATEO, PLANNING AND BUILDING DEPARTMENT

**NOTICE OF INTENT TO ADOPT
NEGATIVE DECLARATION**

A notice, pursuant to the California Environmental Quality Act of 1970, as amended (Public Resources Code 21,000, et seq.), that the following project: South County Health Center, when adopted and implemented, will not have a significant impact on the environment.

FILE NO.: PLN 2011-00297

APPLICANT/OWNER: DES Architects & Engineers, Inc./2700 Middlefield, LLC

ASSESSOR'S PARCEL NO.: 054-113-040

LOCATION: 2700 Middlefield Road, Redwood City

PROJECT DESCRIPTION

The proposal consists of a County operated, 3-story, 36,000 sq. ft. comprehensive outpatient primary care facility. The County has secured a long-term lease for the building, with an option to purchase the building (triggering a subdivision of the parcel) at some future date.

The facility is expected to serve more than 19,000 individuals living in southern San Mateo County. It will include an adult primary care, pediatric, ob/gyn, optometry and dental clinics, as well as a laboratory, pharmacy and mental health services. The building will have an expandable meeting room that can also be used for community meetings or events. The facility will have 110 County and partner agency employees, as well as volunteers, and is expected to handle 300 to 320 patient visits per day. The clinic is anticipated to be open 8:30 a.m. – 5:00 p.m., Monday through Friday, but there will also be select evening and Saturday clinics available. The building design is modern, with exterior walls primarily comprised of dual tones of painted cement plaster and tinted glass windows in anodized aluminum mullions with metal sunshades (see Attachments B through I). Attachment Q shows the proposed staging of the project construction.

FINDINGS AND BASIS FOR A NEGATIVE DECLARATION

The Current Planning Section has reviewed the initial study for the project and, based upon substantial evidence in the record, finds that:

1. The project will not adversely affect water or air quality or increase noise levels substantially.
2. The project will not have adverse impacts on the flora or fauna of the area.
3. The project will not degrade the aesthetic quality of the area.

4. The project will not have adverse impacts on traffic or land use.
5. In addition, the project will not:
 - a. Create impacts which have the potential to degrade the quality of the environment.
 - b. Create impacts which achieve short-term to the disadvantage of long-term environmental goals.
 - c. Create impacts for a project which are individually limited, but cumulatively considerable.
 - d. Create environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

The County of San Mateo has, therefore, determined that the environmental impact of the project is insignificant.

MITIGATION MEASURES included in the project to avoid potentially significant effects:

Mitigation Measure 1: Prior to the issuance of a building permit, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into local drainage systems and water systems by adhering to the cited erosion and drainage control plan and pursuant to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:

- a. Stabilize all denuded areas and maintaining erosion control measures continuously between October 1 and April 30 and as needed year round to maintain effective stormwater management. Stabilizing shall include both proactive measures, such as the placement of fiber rolls and/or coir netting, and the use passive measures, such as revegetating disturbed areas with plants native to the general area. Clearing and earth moving activities shall occur only during dry weather.
- b. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.

- c. Minimize the area of bare soil exposed at one time (phased grading). Clear only areas essential for construction.
- d. Within five days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Construction entrances and access routes shall be limited and stabilized at designated access points immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- g. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- h. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- i. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- j. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- k. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- l. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- m. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/basins shall be cleaned out when 50% full (by volume).
- n. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence

height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.

- o. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- p. Store, handle and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- q. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, and non-stormwater discharges to storm drains and watercourses.
- r. Use sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- s. Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
- t. Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
- u. Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- v. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction Best Management Practices, including, but not limited to, those listed above.

Mitigation Measure 2: The applicant shall record a Stormwater Maintenance Agreement onto the property title to ensure on-going maintenance of the stormwater treatment elements on the subject site, pursuant to the San Mateo Countywide Stormwater Pollution Prevention Program requirements.

Mitigation Measure 3: The applicant shall submit a dust control plan to the Planning Department for review and approval prior to the issuance of a building permit for the project. The approved plan shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The plan shall include the following control measures:

- a. Water all active construction areas at least twice daily.
- b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.

- c. Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- h. Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
- i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- j. Replant vegetation in disturbed areas as quickly as possible.

Mitigation Measure 4: The project/facility operator of the County health clinic shall comply with all County and State regulations regarding the storage, transport and disposal of all hazardous/toxic and medical wastes originating at the facility.

Mitigation Measure 5: All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.

Mitigation Measure 6: The applicant shall submit an on-site drainage plan, as prepared by a civil engineer, showing all permanent, post-construction stormwater controls and drainage mechanisms at the time of the submitted project application. The required drainage plan shall show, in all respective cases, the mechanisms necessary to contain all water runoff generated by on-site impervious surfaces, and to reduce the amount of off-site runoff through the use of on-site percolation facilities. The drainage plan shall also include facilities to minimize the amount of pollutants in stormwater runoff through on-site retention and filtering facilities. The drainage plan shall be submitted to the Current Planning Section for review and approval by the Community Development Director prior to the issuance of building permits. The plan shall be included as part of the project's final building permit application and construction plans. The County Building Inspection Section shall ensure that the approved plan is implemented prior to the project's final building and/or grading inspection approval.

RESPONSIBLE AGENCY CONSULTATION

San Mateo County Planning Department

INITIAL STUDY

The San Mateo County Current Planning Section has reviewed the Environmental Evaluation of this project and has found that the probable environmental impacts are insignificant. A copy of the initial study is attached.

REVIEW PERIOD: December 19, 2011 through January 9, 2012

All comments regarding the correctness, completeness, or adequacy of this Negative Declaration must be received by the County Planning and Building Department, 455 County Center, Second Floor, Redwood City, no later than **5:00 p.m., January 9, 2012.**

CONTACT PERSON

Dave Holbrook
Project Planner, 650/363-1837
dholbrook@smcgov.org

Dave Holbrook, Project Planner

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(1/11/07)

County of San Mateo
Planning and Building Department

INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST
(To Be Completed By Current Planning Section)

I. BACKGROUND

Project Title: South County Health Center

File No.: PLN 2011-00297

Project Location: 2700 Middlefield Road, Redwood City

Assessor's Parcel No.: 054-113-040

Applicant/Owner: DES Architects & Engineers, Inc./2700 Middlefield, LLC

Date Environmental Information Form Submitted: October 17, 2011

PROJECT DESCRIPTION

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The facility is expected to serve more than 19,000 individuals living in southern San Mateo County. It will include an adult primary care, pediatric, ob/gyn, optometry and dental clinics, as well as a laboratory, pharmacy and mental health services. The building will have an expandable meeting room that can also be used for community meetings or events. The facility will have 110 County and partner agency employees, as well as volunteers, and is expected to handle 300 to 320 patient visits per day. The clinic is anticipated to be open 8:30 a.m. – 5:00 p.m., Monday through Friday, but there will also be select evening and Saturday clinics available. The building design is modern, with exterior walls primarily comprised of dual tones of painted cement plaster and tinted glass windows in anodized aluminum mullions with metal sunshades (see Attachments B through I). Attachment Q shows the proposed staging of the project construction.

II. ENVIRONMENTAL ANALYSIS

Any controversial answers or answers needing clarification are explained on an attached sheet. For source, refer to pages 13 and 14.

	IMPACT					SOURCE
	NO	YES				
		Not Significant	Significant Unless Mitigated	Significant	Cumulative	
1. <u>LAND SUITABILITY AND GEOLOGY</u>						
Will (or could) this project:						
a. Involve a unique landform or biological area, such as beaches, sand dunes, marshes, tidelands, or San Francisco Bay?	X					B,F,O
b. Involve construction on slope of 15% or greater?	X					E,I
c. Be located in an area of soil instability (subsidence, landslide or severe erosion)?	X					Bc,D
d. Be located on, or adjacent to a known earthquake fault?	X					Bc,D
e. Involve Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?	X					M
f. Cause erosion or siltation?			X			M,I
g. Result in damage to soil capability or loss of agricultural land?	X					A,M
h. Be located within a flood hazard area?	X					G
i. Be located in an area where a high water table may adversely affect land use?	X					D
j. Affect a natural drainage channel or streambed, or watercourse?	X					E

	IMPACT					SOURCE
	NO	YES				
		Not Significant	Significant Unless Mitigated	Significant	Cumulative	
2. <u>VEGETATION AND WILDLIFE</u>						
Will (or could) this project:						
a. Affect federal or state listed rare or endangered species of plant life in the project area?	X					F
b. Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?	X					I,A
c. Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?	X					F
d. Significantly affect fish, wildlife, reptiles, or plant life?	X					I
e. Be located inside or within 200 feet of a marine or wildlife reserve?	X					E,F,O
f. Infringe on any sensitive habitats?	X					F
g. Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?			X			I,F,Bb
3. <u>PHYSICAL RESOURCES</u>						
Will (or could) this project:						
a. Result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, oil, trees, minerals or topsoil)?	X					I

	IMPACT					SOURCE
	NO	YES				
		Not Significant	Significant Unless Mitigated	Significant	Cumulative	
b. Involve grading in excess of 150 cubic yards?			X			I
c. Involve lands currently protected under the Williamson Act (agricultural preserve) or an Open Space Easement?	X					I
d. Affect any existing or potential agricultural uses?	X					A,K,M
4. <u>AIR QUALITY, WATER QUALITY, SONIC</u> Will (or could) this project:						
a. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?			X			I,N,R
b. Involve the burning of any material, including brush, trees and construction materials?	X					I
c. Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?	X					Ba,I
d. Involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances, or radioactive material?			X			I
e. Be subject to noise levels in excess of levels determined appropriate according to the County Noise Ordinance or other standard?	X					A,Ba,Bc
f. Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?			X			I

	IMPACT					SOURCE
	NO	YES			Cumulative	
		Not Significant	Significant Unless Mitigated	Significant		
g. Generate polluted or increased surface water runoff or affect groundwater resources?			X			I
h. Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?	X					S
5. <u>TRANSPORTATION</u> Will (or could) this project:						
a. Affect access to commercial establishments, schools, parks, etc.?	X					A,I
b. Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?	X					A,I
c. Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?	X					I
d. Involve the use of off-road vehicles of any kind (such as trail bikes)?	X					I
e. Result in or increase traffic hazards?	X					S
f. Provide for alternative transportation amenities such as bike racks?	X					I
g. Generate traffic which will adversely affect the traffic carrying capacity of any roadway?	X					S

	IMPACT					SOURCE
	NO	YES				
		Not Significant	Significant Unless Mitigated	Significant	Cumulative	
6. <u>LAND USE AND GENERAL PLANS</u>						
Will (or could) this project:						
a. Result in the congregating of more than 50 people on a regular basis?	X					I
b. Result in the introduction of activities not currently found within the community?	X					I
c. Employ equipment which could interfere with existing communication and/or defense systems?	X					I
d. Result in any changes in land use, either on or off the project site?	X					I
e. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?	X					I,Q,S
f. Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?	X					I,S
g. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?	X					I,S
h. Be adjacent to or within 500 feet of an existing or planned public facility?	X					A

	IMPACT					SOURCE
	NO	YES				
		Not Significant	Significant Unless Mitigated	Significant	Cumulative	
i. Create significant amounts of solid waste or litter?	X					I
j. Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?	X					I
k. Require an amendment to or exception from adopted general plans, specific plans, or community policies or goals?	X					B
l. Involve a change of zoning?	X					C
m. Require the relocation of people or businesses?	X					I
n. Reduce the supply of low-income housing?	X					I
o. Result in possible interference with an emergency response plan or emergency evacuation plan?	X					S
p. Result in creation of or exposure to a potential health hazard?			X			S
7. <u>AESTHETIC, CULTURAL AND HISTORIC</u> Will (or could) this project:						
a. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?	X					A,Bb
b. Obstruct scenic views from existing residential areas, public lands, public water body, or roads?	X					A,I
c. Involve the construction of buildings or structures in excess of three stories or 36 feet in height?	X					I

	IMPACT					SOURCE
	NO	YES			Cumulative	
		Not Significant	Significant Unless Mitigated	Significant		
d. Directly or indirectly affect historical or archaeological resources on or near the site?			X			H
e. Visually intrude into an area having natural scenic qualities?	X					A,I

III. **RESPONSIBLE AGENCIES.** Check what agency has permit authority or other approval for the project.

	AGENCY	YES	NO	TYPE OF APPROVAL
	U.S. Army Corps of Engineers (CE)		X	
	State Water Resources Control Board		X	
	Regional Water Quality Control Board	X		
	State Department of Public Health		X	
	San Francisco Bay Conservation and Development Commission (BCDC)		X	
	U.S. Environmental Protection Agency (EPA)		X	
	County Airport Land Use Commission (ALUC)		X	
CalT	rans	X		
	Bay Area Air Quality Management District		X	
	U.S. Fish and Wildlife Service		X	
Coastal	Commission		X	
City		X		
	Sewer/Water District:	X		Sanitary/Water Expansion Connections
Other:				

IV. MITIGATION MEASURES

	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.	<u>X</u>	<u> </u>
Other mitigation measures are needed.	<u> </u>	<u>X</u>

The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:

Mitigation Measure 1: Prior to the issuance of a building permit, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into local drainage systems and water systems by adhering to the cited erosion and drainage control plan and pursuant to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:

- a. Stabilize all denuded areas and maintaining erosion control measures continuously between October 1 and April 30 and as needed year round to maintain effective stormwater management. Stabilizing shall include both proactive measures, such as the placement of fiber rolls and/or coir netting, and the use passive measures, such as revegetating disturbed areas with plants native to the general area. Clearing and earth moving activities shall occur only during dry weather.
- b. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- c. Minimize the area of bare soil exposed at one time (phased grading). Clear only areas essential for construction.
- d. Within five days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Construction entrances and access routes shall be limited and stabilized at designated access points immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- g. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- h. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.

- i. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
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- k. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
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- n. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
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- c. Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).
- h. Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
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V. **MANDATORY FINDINGS OF SIGNIFICANCE**

	Yes	No
1. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal, or eliminate important examples of the major periods of California history or prehistory?	X	
2. Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?	X	
3. Does the project have possible environmental effects which are individually limited, but cumulatively considerable?		X
4. Would the project cause substantial adverse effects on human beings, either directly or indirectly?		X

On the basis of this initial evaluation:

 X I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Current Planning Section.

 X I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A NEGATIVE DECLARATION will be prepared.

 I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

Dave Holbrook

Project Planner
(Title)

Date

VI. SOURCE LIST

- A. Field Inspection
- B. County General Plan 1986
 - a. General Plan Chapters 1-16
 - b. Local Coastal Program (LCP) (Area Plan)
 - c. Skyline Area General Plan Amendment
 - d. Montara-Moss Beach-El Granada Community Plan
 - e. Emerald Lake Hills Community Plan
- C. County Ordinance Code
- D. Geotechnical Maps
 - 1. USGS Basic Data Contributions
 - a. #43 Landslide Susceptibility
 - b. #44 Active Faults
 - c. #45 High Water Table
 - 2. Geotechnical Hazards Synthesis Maps
- E. USGS Quadrangle Maps, San Mateo County 1970 Series (See F. and H.)
- F. San Mateo County Rare and Endangered Species Maps, or Sensitive Habitats Maps
- G. Flood Insurance Rate Map – National Flood Insurance Program
- H. County Archaeologic Resource Inventory (Prepared by S. Dietz, A.C.R.S.) Procedures for Protection of Historic and Cultural Properties – 36 CFR 800 (See R.)
- I. Project Plans or EIF
- J. Airport Land Use Committee Plans, San Mateo County Airports Plan
- K. Aerial Photography or Real Estate Atlas – REDI
 - 1. Aerial Photographs, 1941, 1953, 1956, 1960, 1963, 1970
 - 2. Aerial Photographs, 1981
 - 3. Coast Aerial Photos/Slides, San Francisco County Line to Año Nuevo Point, 1971
 - 4. Historic Photos, 1928-1937

- L. Williamson Act Maps
- M. Soil Survey, San Mateo Area, U.S. Department of Agriculture, May 1961
- N. Air Pollution Isopleth Maps – Bay Area Air Pollution Control District
- O. California Natural Areas Coordinating Council Maps (See F. and H.)
- P. Forest Resources Study (1971)
- Q. Experience with Other Projects of this Size and Nature
- R. Environmental Regulations and Standards:
 - Federal
 - Review Procedures for CDBG Programs 24 CFR Part 58
 - NEPA 24 CFR 1500-1508
 - Protection of Historic and Cultural Properties 36 CFR Part 800
 - National Register of Historic Places
 - Floodplain Management Executive Order 11988
 - Protection of Wetlands Executive Order 11990
 - Endangered and Threatened Species
 - Noise Abatement and Control 24 CFR Part 51B
 - Explosive and Flammable Operations 24 CFR 51C
 - Toxic Chemicals/Radioactive Materials HUD 79-33
 - Airport Clear Zones and APZ 24 CFR 51D
 - State
 - Ambient Air Quality Standards Article 4, Section 1092
 - Noise Insulation Standards
- S. Consultation with Departments and Agencies:
 - a. County Health Department
 - b. City Fire Department
 - c. California Department of Forestry
 - d. Department of Public Works
 - e. Disaster Preparedness Office
 - f. Other

COUNTY OF SAN MATEO
Planning and Building Department

Initial Study Pursuant to CEQA
Project Narrative and Answers to Questions for the Negative Declaration
File Number: PLN 2011-00297
South County Health Center

EXISTING DEVELOPMENT AND PERMIT PROCESSING

Existing Development and Location. The 2.8-acre property is currently developed with a 41,810 sq. ft. warehouse (to remain; unaffected by the project, housed by a recycling materials business) and a 30,413 sq. ft. building, which is leased entirely by the County, of which 10,600 sq. ft. is operated as the Fair Oaks Family Health Center (since 1991), with the remainder warehouse portion being shared among County Health, Public Administrator and Public Guardian functions and services (this building would be demolished prior to construction of the proposed County Health Center). The project site is located at 2700 Middlefield Road and is accessible by a single access driveway off Middlefield Road, at the junction of Southern Pacific Railroad (Dumbarton Spur) line, between Pacific and Northside Avenues (Attachment A). The driveway also provides sole access to several light-industrially zoned and developed parcels within the Redwood Junction industrial compound. The parcel is located within the Light Industrial/North Fair Oaks/Design Review (M-1/NFO/DR) District in the unincorporated North Fair Oaks area of San Mateo County (see Attachment K).

Required Planning Permits and Processing. The project applicant has applied for a Use Permit, which is required to allow “Medical and Dental Offices” in the M-1/NFO/DR Zoning District. Additionally, while the project has more than the required number of office floor area-generated parking spaces (176 spaces where 150 are required), the project requires an Off-Street Parking Exception to allow 17 of the 176 total to be compact-size spaces (8 ft. by 14 ft. dimension where 9 ft. by 16 ft. dimensions are required). Finally, the project also requires a Grading Permit since the proposed 600 cubic yards (primarily for foundation excavation) exceeds the Grading Exemption limit of 250 cubic yards. The project requires, due to its size exceeding 10,000 sq. ft., an Initial Study and Negative Declaration as outlined by the California Environmental Quality Act (CEQA). The project has also been reviewed against applicable goals and policies of the recently adopted North Fair Oaks (NFO) Community Plan.

PROJECT DESCRIPTION

The proposal consists of a County operated, 3-story, 36,000 sq. ft. comprehensive outpatient primary care facility. The County has secured a long-term lease for the building, with an option to purchase the building (triggering a subdivision of the parcel) at some future date.

The facility is expected to serve more than 19,000 individuals living in southern San Mateo County. It will include an adult primary care, pediatric, ob/gyn, optometry and dental clinics, as well as a laboratory, pharmacy and mental health services. The building will have an expandable meeting room that can also be used for community meetings or events. The facility will have 110 County and partner agency employees, as well as volunteers, and is expected to handle 300

ANSWERS TO QUESTIONS

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to 320 patient visits per day. The clinic is anticipated to be open 8:30 a.m. – 5:00 p.m., Monday through Friday, but there will also be select evening and Saturday clinics available. The building design is modern, with exterior walls primarily comprised of dual tones of painted cement plaster and tinted glass windows in anodized aluminum mullions with metal sunshades (see Attachments B through I). Attachment Q shows the proposed staging of the project construction.

ANSWERS TO QUESTIONS

1. LAND SUITABILITY AND GEOLOGY

- a. **Will (or could) this project involve a unique landform or biological area, such as beaches, sand dunes, marshes, tidelands, or San Francisco Bay?**

No Impact. The project site does not involve any unique landforms or biological areas.

- b. **Will (or could) this project involve construction on slope of 15% or greater?**

No Impact. The area on which the proposed project is to be located is flat and will not involve construction on slopes of 15% or greater.

- c. **Will (or could) this project be located in an area of soil instability (subsidence, landslide or severe erosion)?**

No Impact. The proposed project is to be located on a generally flat parcel with no known areas of landslide susceptibility on the site or within the overall surrounding North Fair Oaks community. There is also no visual evidence of any soil instability.

- d. **Will (or could) this project be located on, or adjacent to a known earthquake fault?**

Yes, Not Significant. The San Andreas Fault is located approximately 3.8 miles to the west. An earthquake on this fault – or one on the Hayward fault a significantly greater distance to the east – could affect the proposed project. However, mandated compliance with current building codes and standards will result in structural seismic integrity such that no significant impacts would result due to proximity to either fault. The San Mateo County Geotechnical Section has also reviewed the proposed project and concurs.

- e. **Will (or could) this project involve Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?**

No Impact. The project site is located on currently developed land that does not include any Class I, II, or III soils.

f. Will (or could) this project cause erosion or siltation?

Yes, Significant Unless Mitigated. The amount of grading necessary for building foundations and paved parking area is estimated at approximately 100 cubic yards (c/y) of excavation and 500 c/y of fill. The applicant's submitted drainage plan reconciles with the recently adopted NFO Community Plan's infrastructure goal to improve stormwater treatment facilities in the area, specifically a policy requiring that all new developments adhere to the current thresholds for requiring on-site stormwater treatment pursuant to the San Mateo Countywide Stormwater Pollution Prevention (C-3 Requirements) Program. The following mitigation measures are required to ensure compliance with this program and that there are no significant impacts due to stormwater drainage and erosion/siltation during all grading and construction activities (Attachment G).

Mitigation Measure 1: Prior to the issuance of a building permit, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into local drainage systems and water systems by adhering to the cited erosion and drainage control plan and pursuant to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Stabilize all denuded areas and maintaining erosion control measures continuously between October 1 and April 30 and as needed year round to maintain effective stormwater management. Stabilizing shall include both proactive measures, such as the placement of fiber rolls and/or coir netting, and the use passive measures, such as revegetating disturbed areas with plants native to the general area. Clearing and earth moving activities shall occur only during dry weather.
- b. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.

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- c. Minimize the area of bare soil exposed at one time (phased grading). Clear only areas essential for construction.
- d. Within five days of clearing or inactivity in construction, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods, such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Construction entrances and access routes shall be limited and stabilized at designated access points immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- g. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- h. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- i. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- j. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- k. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- l. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- m. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/basins shall be cleaned out when 50% full (by volume).
- n. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment

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removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.

- o. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved erosion control plan.
- p. Store, handle and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- q. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, and non-stormwater discharges to storm drains and watercourses.
- r. Use sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- s. Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
- t. Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
- u. Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- v. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction Best Management Practices, including, but not limited to, those listed above.

Mitigation Measure 2: The applicant shall record a Stormwater Maintenance Agreement onto the property title to ensure on-going maintenance of the stormwater treatment elements on the subject site, pursuant to the San Mateo Countywide Stormwater Pollution Prevention Program requirements.

- g. Will (or could) this project result in damage to soil capability or loss of agricultural land?**

No Impact. The project site is located on currently developed land, on which there are no soils that would qualify as “agriculturally land,” thus there would be loss or damage to such soils.

- h. Will (or could) this project be located within a flood hazard area?**

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No Impact. The project site is located in Flood Zone C as defined by FEMA, which is an area of minimal potential flooding. No mitigation is required.

- i. **Will (or could) this project be located in an area where a high water table may adversely affect land use?**

No Impact. There is no indication of the presence of a high water table in this area, thus there would be no expected impact.

- j. **Will (or could) this project affect a natural drainage channel or streambed, or watercourse?**

No Impact. The project site is located on currently developed land. The site is not located near any natural drainage channels, streambeds, or watercourses.

2. **VEGETATION AND WILDLIFE**

- a. **Will (or could) this project affect federal or state listed rare or endangered species of plant life in the project area?**

No Impact. The developed site is within a highly urbanized area. A search of the California Natural Diversity Database was conducted and no special status species were found to occur within 2 miles of the project site.

- b. **Will (or could) this project involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?**

No Impact. There are no heritage or significant-sized trees on the subject site.

- c. **Will (or could) this project be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?**

No Impact. See response to 2.a.

- d. **Will (or could) this project significantly affect fish, wildlife, reptiles, or plant life?**

No Impact. See response to 2.a.

- e. **Will (or could) this project be located inside or within 200 feet of a marine or wildlife reserve?**

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No Impact. The project site is not located within 200 feet of a marine or wildlife reserve.

f. Will (or could) this project infringe on any sensitive habitats?

No Impact. The project site is currently developed within a highly urbanized area. It is not located within an area identified to have any sensitive habitats.

g. Will (or could) this project involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?

Yes, Significant Unless Mitigated. The project site is currently developed, with some of that development to be demolished to accommodate the proposed project. There will be land clearing exceeding 5,000 sq. ft. to prepare the site for the proposed project. While the site has slopes less than 20% (its generally flat), and is not located in a sensitive habitat or buffer zone, the land clearing will require mitigation measures to ensure no significant impacts due to erosion and sediment control during clearing activities. As such, the mitigation measures cited under Question 1.f will reduce any impacts to less than significant.

3. PHYSICAL RESOURCES

a. Will (or could) this project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, oil, trees, minerals or topsoil)?

No Impact. The project site is not used for nor identified as a source of for the extraction of any cited natural resources.

b. Will (or could) this project involve grading in excess of 150 cubic yards?

Yes, Significant Unless Mitigated. The proposed project would involve a total of approximately 600 c/y of grading (for foundation excavation and fill). This grading activity will require mitigation measures to ensure no significant impacts due to erosion and sediment control. As such, the mitigation measures cited under Question 1.f will reduce any impacts to less than significant.

c. Will (or could) this project involve lands currently protected under the Williamson Act (agricultural preserve) or an Open Space Easement?

No Impact. The project site is not protected under the Williamson Act or any Open Space Easements.

d. Will (or could) this project affect any existing or potential agricultural uses?

No Impact. As mentioned previously, the project site is already developed with an industrial building, a warehouse and a smaller County health clinic. There are no existing agricultural uses on the site or in the surrounding area. Furthermore, due to the dense development in the area, any potential agricultural uses would only be small residential gardens in adjacent residentially zoned areas, to which this project would have no impact.

4. AIR QUALITY, WATER QUALITY, SONIC

- a. Will (or could) this project generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?**

Yes, Significant Unless Mitigated. The project would be expected to generate dust during the clearing, excavation and construction phases. This would be a potentially significant impact that would be mitigated by the following measure.

Mitigation Measure 3: The applicant shall submit a dust control plan to the Planning Department for review and approval prior to the issuance of a building permit for the project. The approved plan shall be implemented for the duration of any grading, demolition, and construction activities that generate dust and other airborne particles. The plan shall include the following control measures:

- a. Water all active construction areas at least twice daily.
- b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
- c. Cover all trucks hauling soil, sand and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
- d. Apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking and staging areas at construction sites. Also, hydroseed or apply non-toxic soil stabilizers to inactive construction areas.
- e. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction sites.
- f. Sweep adjacent public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
- g. Enclose, cover, water twice daily or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.).

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- h. Limit traffic speeds on unpaved roads within the project parcel to 15 mph.
 - i. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - j. Replant vegetation in disturbed areas as quickly as possible.
- b. Will (or could) this project involve the burning of any material, including brush, trees and construction materials?**

No Impact. No burning of any materials is expected to occur during or after project construction.

- c. Will (or could) this project be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?**

No Impact. After construction is complete and the building is occupied, its use as a medical office facility – including vehicles coming to and leaving the facility during hours of operation – is not expected to result in the generation of noise levels in excess of those currently existing in the area. Additionally, a significant amount of landscaping (including ground cover, shrubs and trees) is proposed throughout the parking area surrounding the project building, which will further soften and reduce any noise arising from vehicle flow to less than significant levels.

- d. Will (or could) this project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances, or radioactive material?**

Yes, Significant Unless Mitigated. The project has been slated for LEED certification and therefore is expected to be constructed using “green” methods and materials. The County’s review of subsequent construction drawings and inspection of all construction shall require and confirm compliance with the LEED certification criteria. However, the project’s medical use will involve the use of radioactive materials (from x-ray and scanning procedures) and produce potentially bio-hazardous and other toxic substances (i.e., from blood work and other procedures). As such, the following mitigation measure will reduce any impacts to less than significant.

Mitigation Measure 4: The project/facility operator of the County health clinic shall comply with all County and State regulations regarding the storage, transport and disposal of all hazardous/toxic and medical wastes originating at the facility.

- e. Will (or could) this project be subject to noise levels in excess of levels determined appropriate according to the County Noise Ordinance or other standard?**

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Yes, Not Significant. The project site is located on and bordered to the north by similar light industrially zoned land. While the noise levels from such uses on and surrounding the project site are not considered significant, any impact to the health facility from such noise would be further mitigated by the project's sound-attenuated building materials. In any event, the impact from any surrounding noise sources will not be significant.

- f. **Will (or could) this project generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?**

Yes, Significant Unless Mitigated. During project construction, excessive noise could be generated. Mitigation Measure 4 is proposed to reduce the construction noise impact to a less than significant level. Also, see the discussion under 4.c. of this Section.

Mitigation Measure 5: All grading and construction activities associated with the proposed project shall be limited to 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction activities will be prohibited on Sunday and any nationally observed holiday. Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.

- g. **Will (or could) this project generate polluted or increased surface water runoff or affect groundwater resources?**

Yes, Significant Unless Mitigated. The project will result in an increase in surface water runoff resulting from an increase in impermeable surfaces in the project area (e.g., the building itself, sidewalks and an asphalt-surfaced parking area). The completion of a drainage plan, as required below, would reduce this potential impact to a less than significant level (Attachment F).

Mitigation Measure 6: The applicant shall submit an on-site drainage plan, as prepared by a civil engineer, showing all permanent, post-construction stormwater controls and drainage mechanisms at the time of the submitted project application. The required drainage plan shall show, in all respective cases, the mechanisms necessary to contain all water runoff generated by on-site impervious surfaces, and to reduce the amount of off-site runoff through the use of on-site percolation facilities. The drainage plan shall also include facilities to minimize the amount of pollutants in stormwater runoff through on-site retention and filtering facilities. The drainage plan shall be submitted to the Current Planning Section for review and approval by the Community Development Director prior to the issuance of building permits. The plan shall be included as part of the project's final building permit application and construction plans. The County Building Inspection Section shall ensure that the approved plan is implemented prior to the project's final building and/or grading inspection approval.

- h. Will (or could) this project require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?**

No Impact. The proposed project will not require the installation of a septic tank or leachfield sewage disposal system as this property is served by municipal service. A referral was sent to the (County) Fair Oaks Sanitary Maintenance District, who responded that there is ample availability to serve the project.

5. TRANSPORTATION

- a. Will (or could) this project affect access to commercial establishments, schools, parks, etc.?**

No Impact. The project site is located between existing light industrial uses to the northwest and multiple residential uses to the southeast. Its primary access off Middlefield Road currently and will continue to provide unobstructed access to the industrial uses on the subject and adjacent parcels. Adjacent and to the north, along Middlefield Road (from which the project site has its only access) there are general and retail commercial uses. The access to the project site exists and neither blocks nor will change or affect access to those commercial uses. There are no nearby schools or parks whose access would be affected by the project.

- b. Will (or could) this project cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?**

Yes, Not Significant. The project could be expected to generate some additional pedestrian traffic entering the site from Middlefield Road. The project's primary access off of Middlefield Road has been revised and designed with improvements to enhance and encourage such pedestrian access to the project facility. This complies with accessibility policies of the recently approved and adopted North Fair Oaks Community Plan, which identify this access point as a "Proposed Primary Gateway" to and a "Potential Multi-Modal Transit Station" serving the North Fairs Oaks area. However, the increase in pedestrian traffic to the health facility is not expected to create any significant impacts relative to either accessibility or hazards.

- c. Will (or could) this project result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?**

Yes, Not Significant. While there is an existing County-operated health facility on the project site (the Fair Oaks Family Health Center), the new project will be a considerably larger, full-service health clinic, with a far greater number of health services, and intended to serve a greater South County population. As such, there is expected to be additional vehicular trips.

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The submitted project traffic analysis (by *Hexagon Transportation Consultants, Inc., dated October 12, 2011*) assessed the existing and proposed net increase in traffic trips to and from the site, specifically in the AM and PM peak hours. Credit was taken for traffic associated with existing land uses that will subsequently be removed (e.g., the warehouse and storage uses attached to the existing health facility). The traffic generated by the existing land uses to remain (the other industrial/office uses on and north of the project site but accessed at the same, single entryway) was subtracted from the gross project generated trips (1,301) to yield the net increase of 56 PM peak-hour trips. The net project trip generation during the AM peak-hour was concluded to be negligible, since it was estimated that the existing uses on the site currently generate more traffic than the proposed project.

Given that the generated traffic trips from both the existing on-site and adjacent uses and proposed project use access the same driveway off of Middlefield Road, that access was reviewed. Conflicting movements along the project driveway (between outbound traffic from the existing uses north of the project site and inbound project traffic) potentially could result in vehicles queuing up in the short segment along the driveway between the project site access drive aisle and Middlefield Road. However, since both the existing uses and proposed project have similar trip characteristics (most trips are inbound in the morning from employees and outbound in the evening), inbound vehicular queues as the result of conflict between inbound and outbound traffic are not very likely to occur.

The level of service (LOS; measuring the average delay in seconds per vehicle) at three nearby intersections was reviewed relative to their respective vehicle increase and delay both in their respective existing situations and with the added project-generated trips. The intersections studied were Middlefield Road at Woodside Road, Middlefield Road at Fifth Avenue, and El Camino Real at Woodside Road (see Attachment O). With the existing PM LOS levels at each of those intersections at, respectively, “D,” “C” and “B,” the PM LOS levels plus the project result in increased 0.3 second, 0.5 second and 0.2 second (per vehicle) delays, respectively, which do not change those intersections’ respective LOS. Additionally, the site is served by three (SamTrans) bus routes (see Attachment N).

The traffic analysis concluded that the identified intersections’ LOS under “existing plus project” (see Attachments O and P) conditions show that no study intersections would be significantly impacted by the project according to applicable LOS standards. Similarly, the same intersection LOS under the “cumulative plus project” conditions show that no study intersections would be significantly impacted by the project. Further, its not expected that the project’s use for evening or weekend community meetings or events would produce any significant increase in vehicle trips since such events would occur past or off AM and PM peak hours (where project health facility and nearby industrial business employees and customers would typically not be present).

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Finally, the traffic analysis report did suggest that a traffic signal be added at the project driveway and Middlefield Road at some point in the future. Such an improvement reconciles with the NFO Community Plan's proposal to reduce Middlefield Road from four to three lanes, as part of goals and policies that identify (and would likely improve) it as a "Potential Multi-Modal Transit Station" for the NFO community (see Attachment M).

- d. Will (or could) this project involve the use of off-road vehicles of any kind (such as trail bikes)?**

No Impact. The project would not involve the use of off-road vehicles.

- e. Will (or could) this project result in or increase traffic hazards?**

Yes, Not Significant. The "less than significant" increase in traffic-generated trips as discussed in Question 5.c is not expected to result in or increase traffic hazards along the main roadways and intersections leading to the project site.

- f. Will (or could) this project provide for alternative transportation amenities such as bike racks?**

Yes, Not Significant. The project includes the installation of bike racks (see Attachment B), to accommodate 16 bikes, located near the entrance of the proposed facility. Given the expectation that some users will either walk or ride bikes to the facility, the availability to accommodate 16 bikes is deemed sufficient. Previous practice in large-scale projects has been to require a 1:10 ratio of bike parking spaces to the number of car parking spaces that would be required. The San Mateo County Parking Regulations, for the proposed use, require a minimum of 150 on-site vehicle parking spaces (which their parking provisions exceed). A 1:10 ratio requirement would generate the need for 15 bike spaces. Therefore, the provision of 16 such spaces is consistent with previous practices regarding alternative transportation amenities. Additionally, the provision of this number of bike spaces furthers a goal of the NFO Community Plan to improve bicycle connectivity throughout North Fair Oaks.

- g. Will (or could) this project generate traffic which will adversely affect the traffic carrying capacity of any roadway?**

Yes, Not Significant. With the proposed project creating a 'less than significant' increase in vehicle trips to and from the project site (as discussed in Question 5.c, the project is not expected to generate enough additional traffic to significantly affect the carrying capacity of any nearby roadway.

6. **LAND USE AND GENERAL PLANS**

- a. **Will (or could) this project result in the congregating of more than 50 people on a regular basis?**

Yes, Not Significant. Given the purpose and size of the proposed project, it would certainly result in the congregation of more than 50 people on a regular or semi-regular basis. However, aside from clinic staff, customers would be expected to arrive at various times during the facility's business hours of 8:30 a.m. to 5:00 p.m., including some evening and weekend (Saturday) hours. However, this impact is not expected to be at a level significant enough to warrant mitigation. A more relevant impact of people at the site is discussed in Questions 5.b, c and e.

- b. **Will (or could) this project result in the introduction of activities not currently found within the community?**

Yes, Not Significant. The project will introduce a full-service medical clinic serving the South County area, replacing the much smaller and locally serving Fair Oaks Family Health Center currently on the same site. However, the recently adopted NFO Community Plan acknowledges the site as supporting the existing health center. Additionally, the project fulfills and advances the Community Plan goal to "expand access to affordable health services, preventative care and medical supplies for residents of North Fair Oaks by improving and expanding health facility options and expanding the capacity of existing clinics." Given this, the expansion of the existing facility does not represent an activity not currently found within the community and certainly not an activity that would be considered as an adverse impact.

- c. **Will (or could) this project employ equipment which could interfere with existing communication and/or defense systems?**

No Impact. The proposed project would not employ equipment that could interfere with existing communication and/or defense systems.

- d. **Will (or could) this project result in any changes in land use, either on or off the project site?**

Yes, Not Significant. As discussed in the response to Question 6.b, the land use presently on the site (e.g., the NFO Family Health Center) will change only in that it will be expanded to provide more medical and dental services to a broader south County population. Given the NFO Community Plan's change of the project site's General Plan (GP) designation to "Commercial Mixed-Use" (see Attachment L), the next step would be to rezone those areas so that they are consistent with the new GP designation, as will occur with both the project site and the adjacent parcels to the north currently developed with light industrial uses (Redwood Junction). As such, it

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might be expected that given the eventual rezoning of these immediate areas, uses supportive of the project medical clinic use could occur. In any event, this change to the existing land use will not result in a significantly adverse impact.

- e. **Will (or could) this project serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?**

Yes, Not Significant. The proposed project is located within a densely developed, built-out neighborhood consisting of existing industrial and high-density residential uses. The purpose of the project (an expanded County health facility) is to better serve the North Fair Oaks and south County population; it is not expected to encourage off-site development to any significant degree. However, as discussed in the response to Question 6.d, the new GHP designation and eventual new and consistent zoning of the (currently industrially zoned and used) parcels to the north could serve to encourage and accommodate uses supportive of the project health clinic use. However, its not anticipated that this project would trigger any expanded public utilities, new industry or recreational facilities.

- f. **Will (or could) this project adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?**

No Impact. The proposed project will not affect the capacity of any public facility or utility. Referrals have been sent to affected agencies and all have provided conditional approvals for this project. Relative to the impact to the local streets (from some increased traffic), see the response to Question 5.c. In addition, the facility will provide additional health (e.g., hospital) services where more are needed. Therefore, there is no expected adverse impact to the capacity of any public facilities.

- g. **Will (or could) this project generate any demands that will cause a public facility or utility to reach or exceed its capacity?**

No Impact. The project site is served by existing utilities including municipal water and sewer. The project has been reviewed by the affected public service agencies and all have indicated that they have adequate capacity to serve the project.

- h. **Will (or could) this project be adjacent to or within 500 feet of an existing or planned public facility?**

No Impact. The project site is not located adjacent to or within 500 feet of an existing or planned public facility.

ANSWERS TO QUESTIONS

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i. Will (or could) this project create significant amounts of solid waste or litter?

Yes, Not Significant. The proposed project is expected to generate additional amounts of solid waste and litter beyond what the existing health facility produces. However, health facility staff and personnel will be responsible for ensuring that all such waste is disposed of regularly and properly. The project plans include two enclosed, screened areas where large covered trash receptacles will be stored outside of the building. Additionally, solid waste and litter will be separated, as allowable, for recycling purposes as mandated by the County's contract with the local and applicable refuse collection service. With proper and timely handling, transfer and disposal of all project generated solid waste and litter, the impact will not be significant.

j. Will (or could) this project substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?

Yes, Not Significant. While the expanded health facility would be expected to utilize more energy than the existing, smaller facility, the project will be constructed to San Mateo County Building Code standards for energy and Green Building Ordinance requirements (it is slated for LEED certification, which requires an even higher utilization of "green" methods and materials in construction), with one of the primary outcomes being that the consumption of energy will be reduced. As such, it would not substantially increase fossil fuel consumption.

k. Will (or could) this project require an amendment to or exception from adopted general plans, specific plans, or community policies or goals?

Yes, Not Significant. The proposed project does not require an amendment or exception to the recently adopted NFO Community Plan. As previously cited in the response to Question 6.b, the project complies with this Community Plan in that it expands an already existing health center. While the project site's land use designation has changed from "General Industrial" to "Commercial Mixed-Use," the expanded health facility is supportive of the Community Plan's Health and Wellness Chapter's goals, both generally and at that specific location. Since the Community Plan's new zoning designations have not yet been adopted, the project does require the approval of a Use Permit in order to operate a medical facility in the M-1/NFO Zoning District, the existing and expanded health facility. The project also requires an Off-Street Parking Exception to allow 17 of the 176 total parking spaces to be compact-size spaces (8 ft. by 14 ft. dimension where 9 ft. by 16 ft. dimensions are required). This exception is not deemed unreasonable; the facility actually has 176 total spaces where 150 are required by the County Parking Regulations. The Exception for some slightly smaller spaces also allows for improved vehicular circulation throughout the site as well as more effective landscaping coverage (see Attachment H), which is further supported by the NFO Community Plan's Circulation

ANSWERS TO QUESTIONS

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and Parking Chapter. The impact of the Parking Exception is not expected to be significant.

l. Will (or could) this project involve a change of zoning?

No Impact. The project does not include nor require a change of zoning; a Use Permit, however, is required to allow the medical use within the M-1/NFO Zoning District.

m. Will (or could) this project require the relocation of people or businesses?

No Impact. The proposal would not require the relocation of people or businesses. The existing warehousing uses (attached to the building that currently houses the NFO Family Health Center) are leased by various County departments, utilizing a minimum of County employees at any given time. Upon demolition of this building, the County's storage uses will be relocated elsewhere, causing a minimal disruption of business and employees. Additionally, the expanded health facility will create new employment opportunities, which furthers the NFO Community Plan's goal of promoting revitalization through redevelopment of underutilized land (as the subject parcel could be considered). In any event, the impact to such new employees would not be expected to represent an adverse impact.

n. Will (or could) this project reduce the supply of low-income housing?

No Impact. The proposed project does not include or reduce the supply of any low-income housing. Additionally, the NFO Community Plan does not designate the project site for residential uses.

o. Will (or could) this project result in possible interference with an emergency response plan or emergency evacuation plan?

No Impact. The proposed project would not interfere with any emergency response or evacuation plans. The project's revised driveway approach does not interfere with the driveway leading to the other existing uses on the parcel or to the adjacent Redwood Junction industrial uses to the north.

p. Will (or could) this project result in creation of or exposure to a potential health hazard?

Yes, Significant Unless Mitigated. The proposed health facility, as indicated in the response to Question 4.d, will involve the collection, transmittal, storage and removal of various potentially hazardous fluids and substances (typically generated by such facilities) would could – if not regulated – result in exposure to a potential health

hazard. However, Mitigation Measure 4 is proposed to reduce this impact to a less than significant level.

7. AESTHETIC, CULTURAL AND HISTORIC

- a. Will (or could) this project be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?**

No Impact. The proposed project site is not located adjacent to a designated Scenic Highway or within a State of County Scenic Corridor.

- b. Will (or could) this project obstruct scenic views from existing residential areas, public lands, public water body, or roads?**

No Impact. The proposed project is located adjacent to a densely developed (R-3) residential area where the topography throughout is flat. Given this, there are no scenic views from this area to be impacted by the project.

- c. Will (or could) this project involve the construction of buildings or structures in excess of three stories or 36 feet in height?**

Yes, Not Significant. Based on how height is in the M-1/NFO Zoning District for which the proposed project has a total height of 53 feet, as measured from grade to the top of the roof screen structure (46 feet measured to the top of the wall parapet). While this exceeds the zoning district's cited height limit, County Zoning Regulations Section 6402 states that public buildings (of which this facility's use as a County-operated health clinic is) may be built to a height not exceeding 75 feet provided that front, rear and side yards shall be increased 1-foot for each 1-foot which such building exceeds the maximum height limit (in this case 37 feet). Whereas the proposed building's height exceeds the M-1/NFO's height limit by 16 feet, the required setbacks are maintained, in compliance with both the M-1/NFO Regulations and Section 6402, as follows:

	Required Setback (That required by M-1/NFO + 1' for every foot over 37')	Proposed Setback
Front Setback	25' + 16' = 41'	200+'
Southerly Side Setback	15' + 16' = 31'	73+'
Northerly Side Setback	0' + 16' = 16'	114+'
Rear Setback	25' + 16' = 41'	95+'*

* Distance to existing industrial building to rear of proposed building; distance to rear property line is over 400'; distance to proposed future/revised rear property line will be 63'.

ANSWERS TO QUESTIONS

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Additionally, relative to the project site's new GP designation of "Commercial Mixed-Use," the project's 53-foot height is less than the NFO Community Plan's 60-foot height limit for this designation.

- d. Will (or could) this project directly or indirectly affect historical or archaeological resources on or near the site?**

Yes, Significant Unless Mitigated. There are no known historical or archaeological resources on or near the site. However, particularly with the excavation proposed as part of the project, historical or archaeological resources may be unearthed during project construction. In order to mitigate the potential effects on unknown resources, the following mitigation measure is required.

Mitigation Measure 7: Prior to building permit issuance, the project sponsor shall incorporate via a note on the first page of the construction plans that, should cultural resources be encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e). The note on the plans shall be subject to review and approval of the Current Planning Section.

- e. Will (or could) this project visually intrude into an area having natural scenic qualities?**

No Impact. The area for which this project is proposed does not have any natural scenic qualities due to the density and types of existing development and flat topography.

ANSWERS TO QUESTIONS

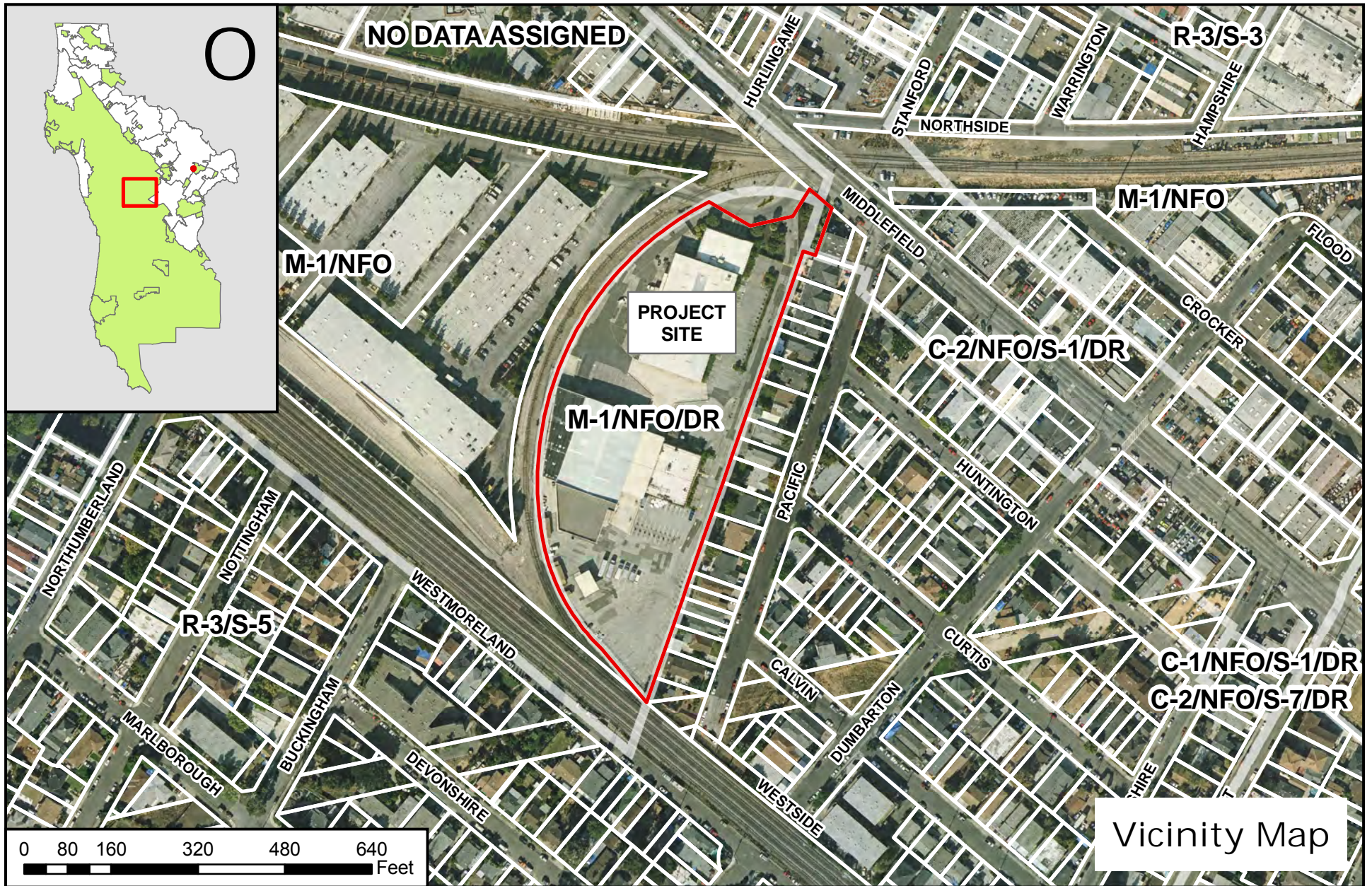
File No. PLN 2011-00297

Page 20

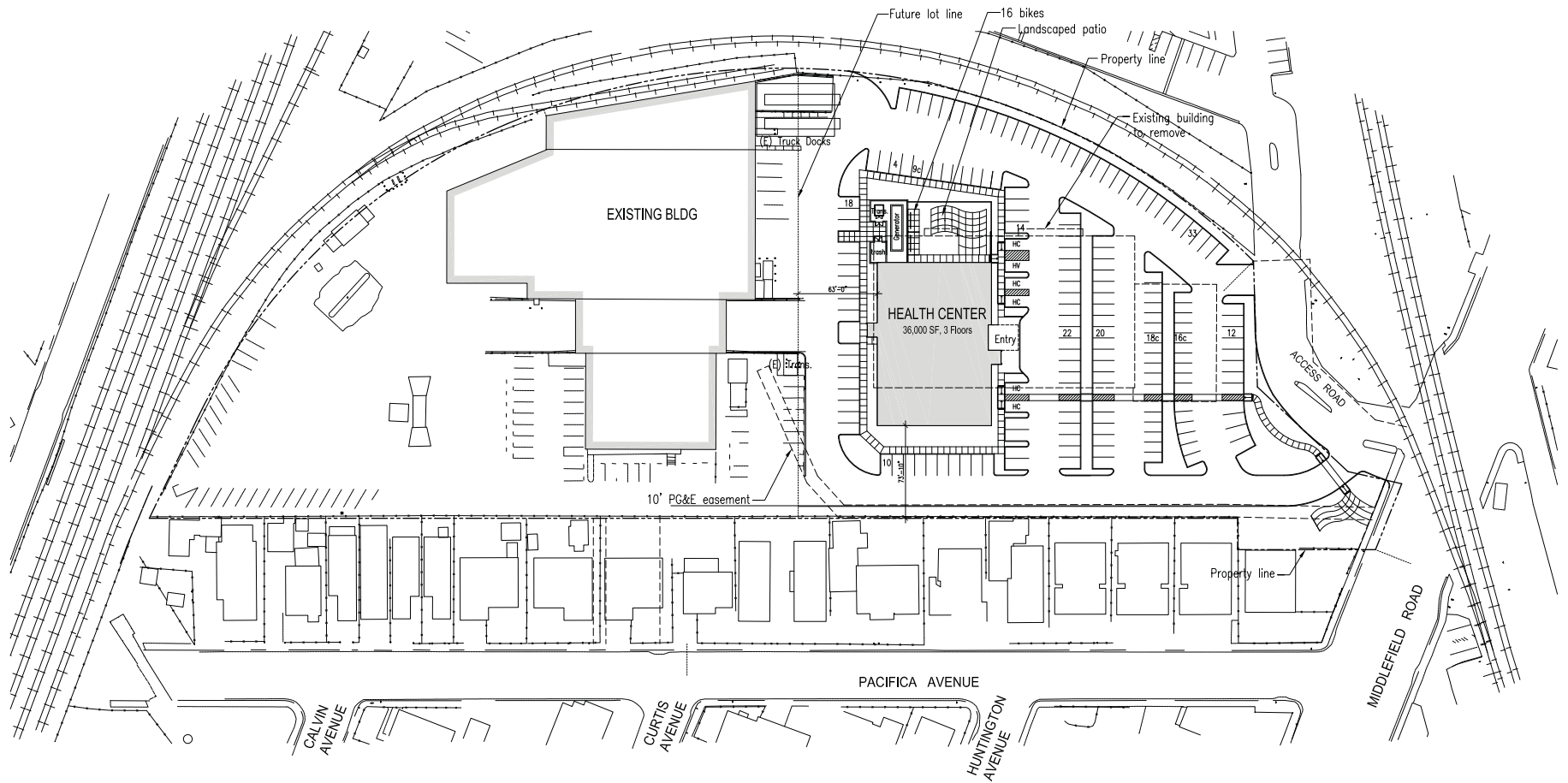
ATTACHMENTS

- A. Site Location Map
- B. Project Site Plan
- C. Northwest Corner Elevation
- D. Southeast Corner Elevation
- E. Floor Plans (1st, 2nd and 3rd Floors)
- F. Drainage Plan
- G. Erosion and Sediment Control Plan
- H. Conceptual Landscape Plan
- I. Project Lighting/Photometric Plan
- J. Pole-Mounted and Building Light Fixture Details
- K. Existing North Fair Oaks (NFO) Area Zoning Map
- L. Adopted NFO Land Use Designations (NFO Neighborhood Plan; Figure 2.5)
- M. Gateways and Node (NFO Neighborhood Plan; Figure 2.3)
- N. Existing Transit Services (Traffic Impact Analysis; Figure 3)
- O. Study Intersections – Existing Traffic Volumes (Traffic Impact Analysis; Figure 5)
- P. Study Intersections – Existing Plus Project Traffic (Traffic Impact Analysis; Figure 7)
- Q. Construction Phasing – Existing Through Phase 3

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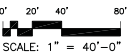


PROJECT DATA

SITE AREA	122,056 SF
TOTAL BUILDING AREA	36,000 SF
FAR	0.29
BUILDING COVERAGE	9.8 %
PROPOSED FLOOR TO FLOOR HEIGHT	14' (3 FLOORS)
PROPOSED TOP OF PARAPET	+48'
PROPOSED TOP OF ROOF SCREEN	+53'

TOTAL AREA FOR PARKING CALCULATION*	30,200 SF
PARKING REQUIRED (6/1,000)	161
PARKING PROVIDED INCLUDING	176 STALLS
	5 ACCESSIBLE STALLS
	1 ACCESSIBLE VAN STALL
	127 STANDARD STALLS (17' x 9' WITH 2' OVERHANG)
	43 COMPACT STALLS (14' x 8' WITH 2' OVERHANG), 24%
BIKE PARKING	16

* Total area for parking calculation (30,200 sf)
 = Total building area (36,000 sf) - Areas of stairs/elevators/restrooms/storage/mech rooms/elec. rooms (5,800sf)



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Attachment B

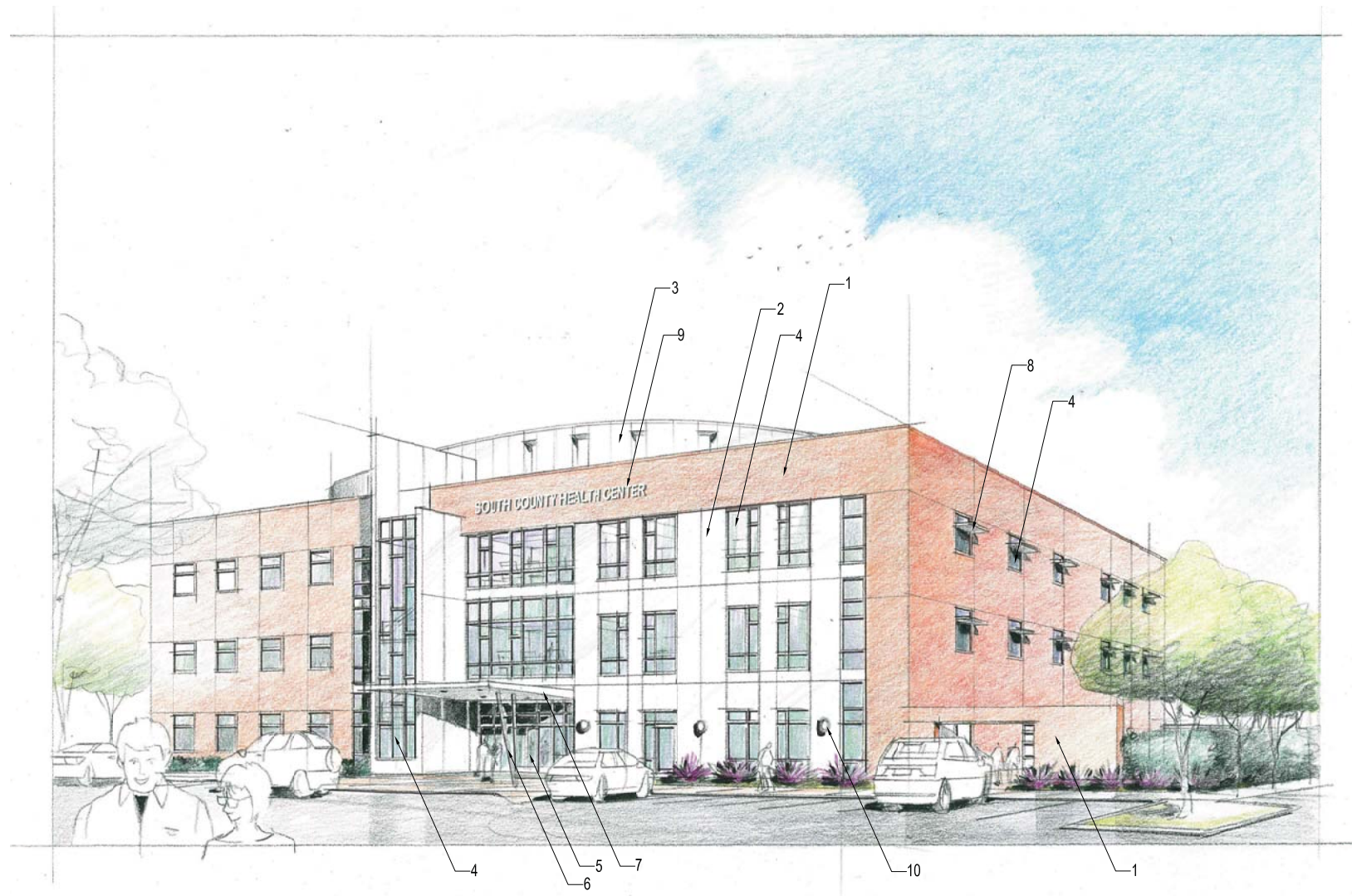
SITE PLAN
 10/14/2011

A1



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LEGEND

- 1. PAINTED CEMENT PLASTER WITH REVEALS, (COLOR A/ MEDIUM TEXTURE)
- 2. PAINTED CEMENT PLASTER WITH REVEALS, (COLOR B/ FINE TEXTURE)
- 3. PAINTED METAL PANEL ROOF SCREEN (COLOR B/ TEXTURE B -SMOOTH FINISH)
- 4. INSULATED TINTED GLASS (REAR- LOADED) IN ANODIZED ALUMINUM MULLIONS
- 5. INSULATED CLEAR LOW-E GLASS WITH ANODIZED ALUMINUM MULLIONS
- 6. PAINTED METAL COLUMN
- 7. METAL CLAD CANOPY OR PAINTED CEMENT PLASTER FINISH WITH EXTERIOR SOFFIT LIGHTS
- 8. METAL SUNSHADE/ LIGHT SHELF
- 9. ALUMINUM RAISED LETTERS ILLUMINATED SIGNAGE
- 10. WALL LIGHT SCONCE

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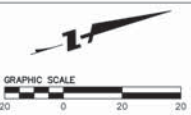
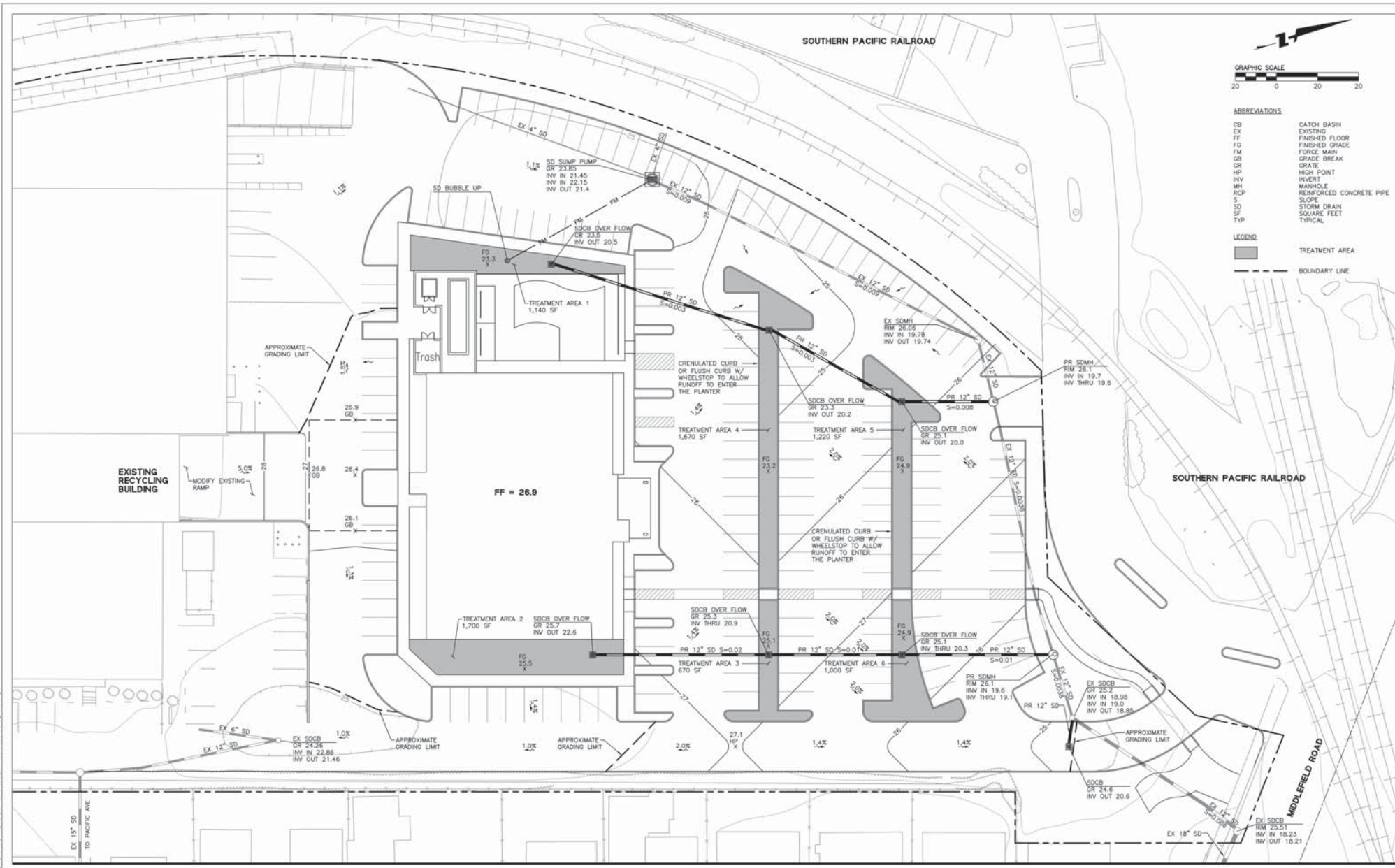
Attachment C

VIEW FROM NORTHWEST CORNER
10/14/2011

A6



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ABBREVIATIONS

CB	CATCH BASIN
EX	EXISTING
FF	FINISHED FLOOR
FG	FINISHED GRADE
FM	FORCE MAIN
GB	GRADE BREAK
GR	GRATE
HP	HIGH POINT
INV	INVERT
MH	MANHOLE
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
SD	STORM DRAIN
SF	SQUARE FEET
TYP	TYPICAL



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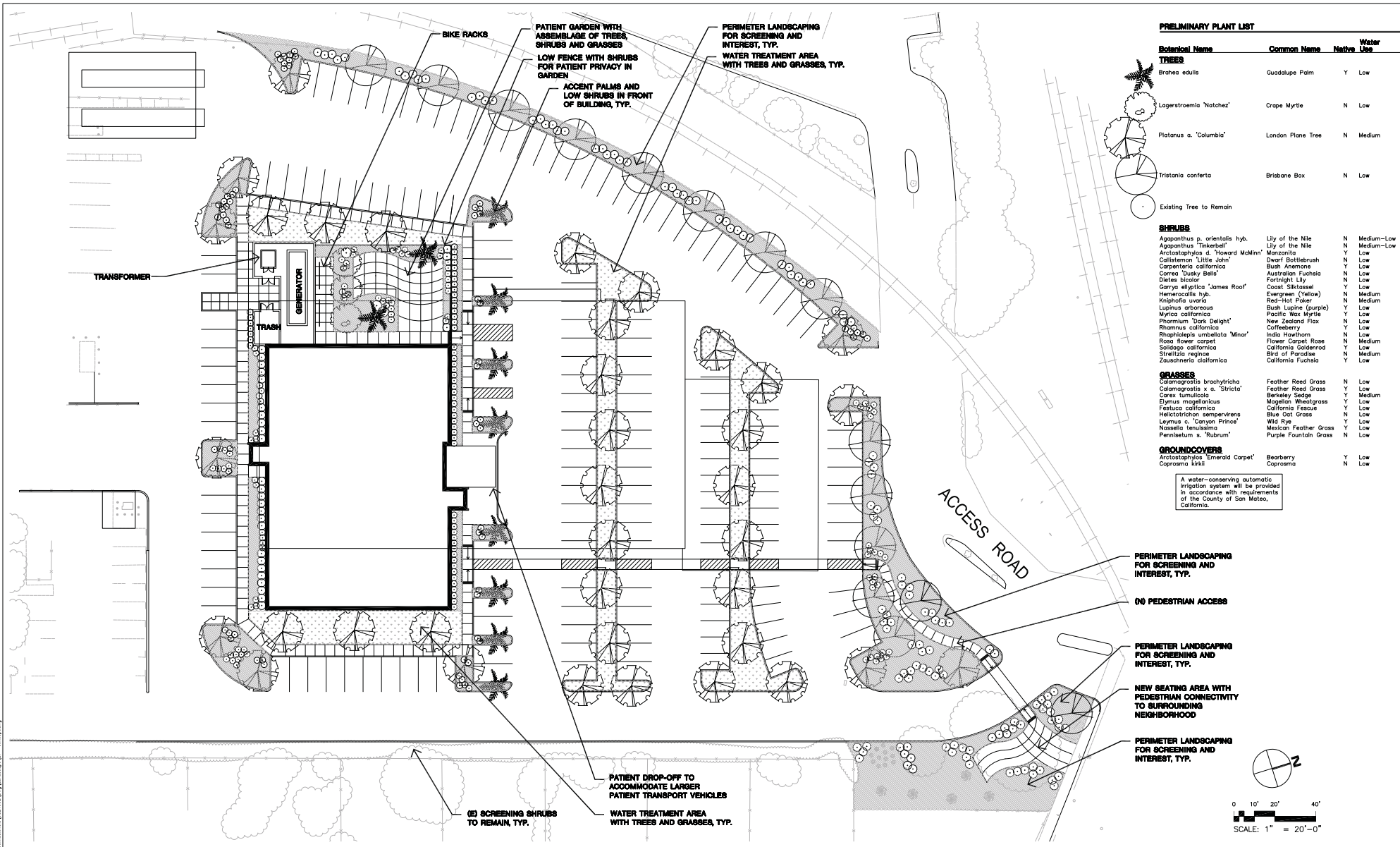
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Attachment F

SCHEMATIC DRAINAGE PLAN
 10/14/2011

C-1

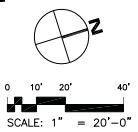
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PRELIMINARY PLANT LIST

Botanical Name	Common Name	Native	Water Use
TREES			
<i>Brahea edulis</i>	Guadalupe Palm	Y	Low
<i>Lagerstroemia 'Natchez'</i>	Crape Myrtle	N	Low
<i>Platanus a. 'Columbia'</i>	London Plane Tree	N	Medium
<i>Tristania conferta</i>	Brisbane Box	N	Low
Existing Tree to Remain			
SHRUBS			
<i>Agapanthus p. orientalis</i> hyb.	Lily of the Nile	N	Medium-Low
<i>Agapanthus 'Trinabel'</i>	Lily of the Nile	N	Medium-Low
<i>Arctostaphylos d. 'Howard McMin'</i>	Manzanita	Y	Low
<i>Callistemon 'Little John'</i>	Dwarf Bottlebrush	N	Low
<i>Corchorus californicus</i>	Bush Anemone	Y	Low
<i>Correa 'Dusky Bells'</i>	Australian Fuchsia	N	Low
<i>Dialia bicolor</i>	Fortnight Lily	N	Low
<i>Garrya elliptica 'James Roof'</i>	Coast Silk-tassel	Y	Low
<i>Hemerocallis</i> hyb.	Evergreen (Yellow)	N	Medium
<i>Kniphofia uvaria</i>	Red-Hot Poker	N	Medium
<i>Lupinus arboreus</i>	Bush Lupine (purple)	Y	Low
<i>Myrica californica</i>	Pacific Wax Myrtle	Y	Low
<i>Phormium 'Dark Delight'</i>	New Zealand Flax	N	Low
<i>Rhamnus californica</i>	Coffeeberry	Y	Low
<i>Rhaphidophis umbellata 'Minor'</i>	India Hawthorn	N	Low
<i>Rosa flower carpet</i>	Flower Carpet Rose	N	Medium
<i>Solidago californica</i>	California Goldenrod	Y	Low
<i>Streitelia reginae</i>	Bird of Paradise	N	Medium
<i>Zauschneria californica</i>	California Fuchsia	Y	Low
GRASSES			
<i>Calamagrostis brachytricha</i>	Feather Reed Grass	N	Low
<i>Calamagrostis x a. 'Stricta'</i>	Feather Reed Grass	Y	Low
<i>Carex tumulicola</i>	Berkeley Sedge	Y	Medium
<i>Elymus magellanicus</i>	Maugelgrass	Y	Low
<i>Festuca californica</i>	California Fescue	Y	Low
<i>Helictotrichon sempervirens</i>	Blue Oat Grass	N	Low
<i>Leymus a. 'Canyon Prince'</i>	Wild Rye	Y	Low
<i>Nassella tenuissima</i>	Mexican Feather Grass	Y	Low
<i>Pennisetum s. 'Rubrum'</i>	Purple Fountain Grass	N	Low
GROUNDCOVERS			
<i>Arctostaphylos 'Emerald Carpet'</i>	Bearberry	Y	Low
<i>Coprosma kirkii</i>	Coprosma	N	Low

A water-conserving automatic irrigation system will be provided in accordance with requirements of the County of San Mateo, California.



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Attachment H

CONCEPTUAL LANDSCAPE PLAN

L-1



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FIXTURE TYPE A – SINGLE, ASI-LED
 FIXTURE TYPE B – TWIN, TASI-LED



Anchor Base Poles
RTS
 ROUND TAPEFED STEEL

POLE HEIGHT = 25'-0"



FIXTURE TYPE C

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Engineers
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POLE MOUNTED AND BUILDING MOUNTED LUMINAIRES

10/14/2011

E1.2



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FIGURE 2.5: North Fair Oaks Land Use Designations

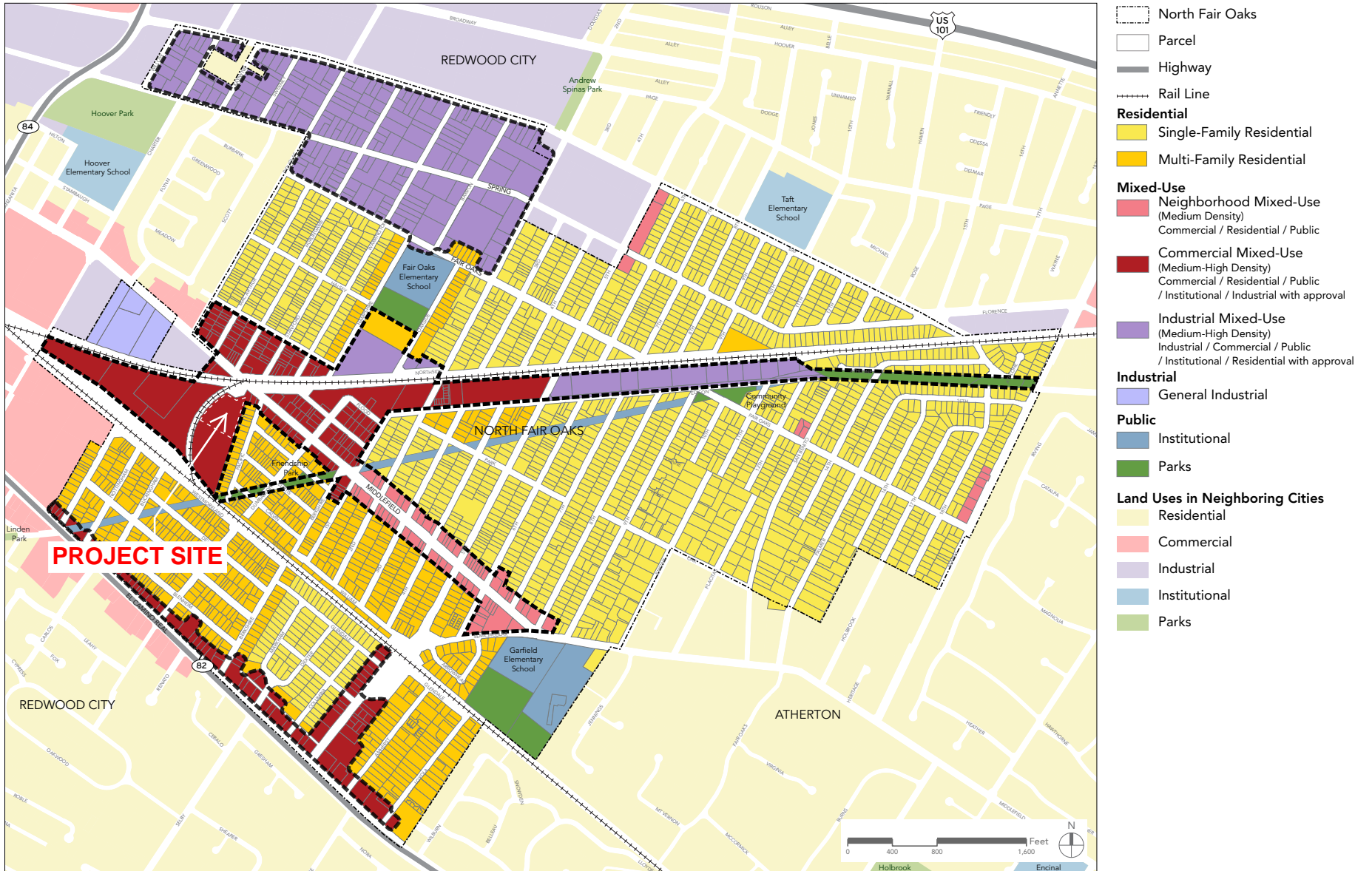
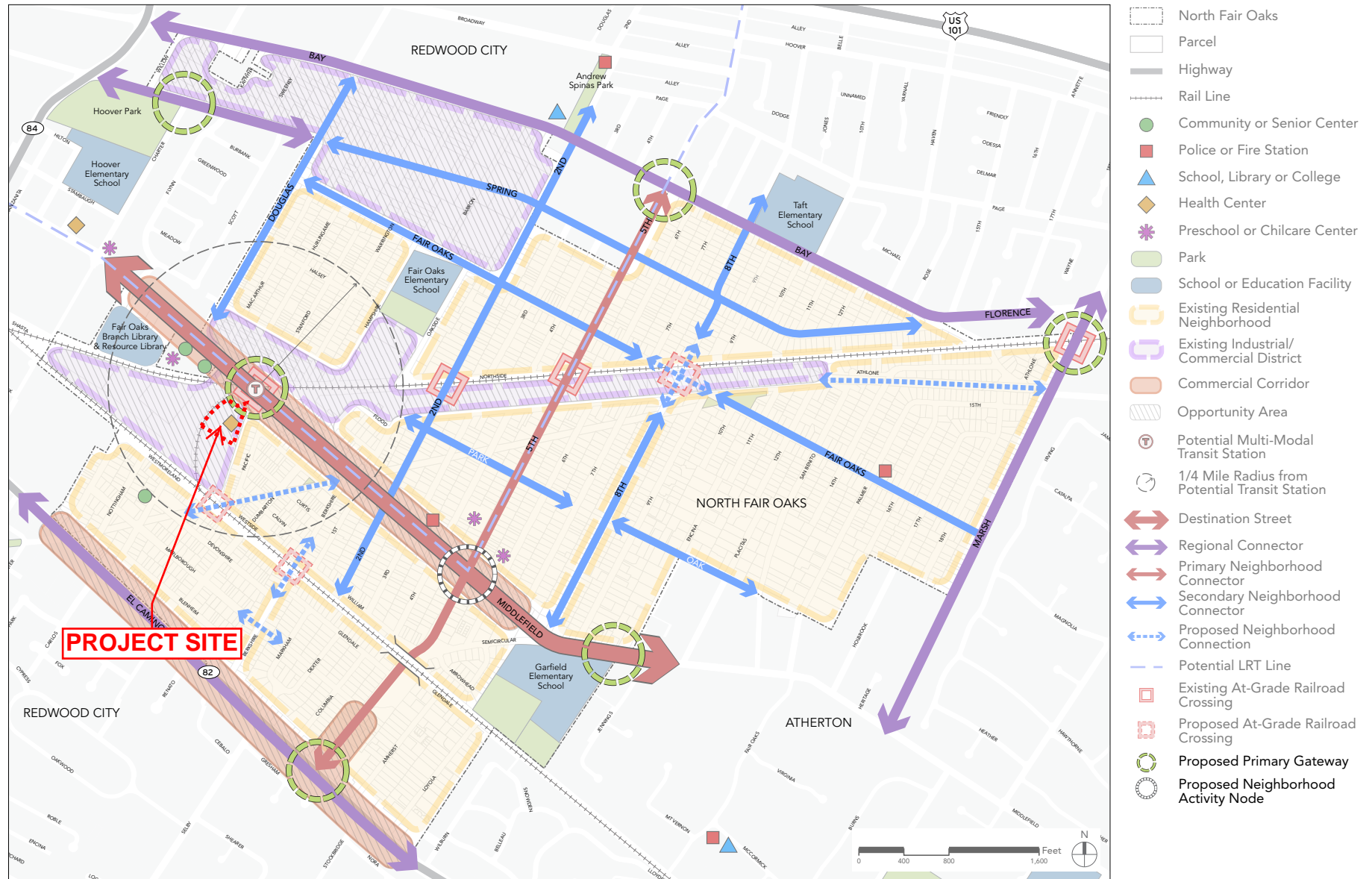


FIGURE 2.3: Land Use and Community Design Framework - Gateways and Node



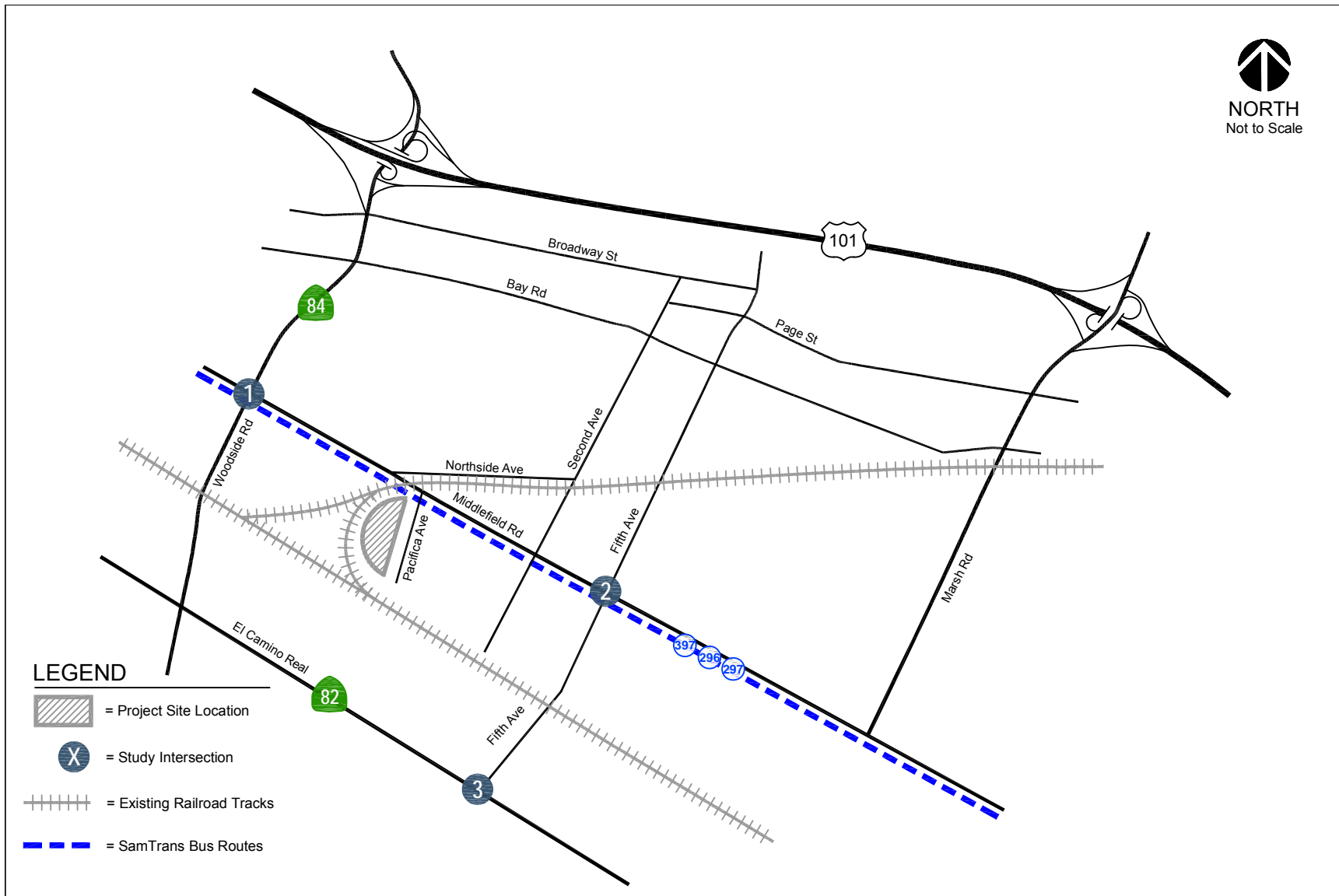


Figure 3
Existing Transit Services

<p>1</p> <p>Middlefield Rd</p> <p>Woodside Rd</p>	<p>2</p> <p>Middlefield Rd</p> <p>Fifth Ave</p>	<p>3</p> <p>Fifth Ave</p> <p>El Camino Real</p>
<p>62 1152 208</p> <p>208 419 553</p> <p>149 486 70</p> <p>119 1190 510</p>	<p>45 286 63</p> <p>48 430 20</p> <p>41 412 316</p> <p>203 213 35</p>	<p>441 185</p> <p>182 1364</p> <p>483 588</p>

LEGEND:

= Project Site Location = Study Intersection XX = PM Peak-Hour Traffic Volumes

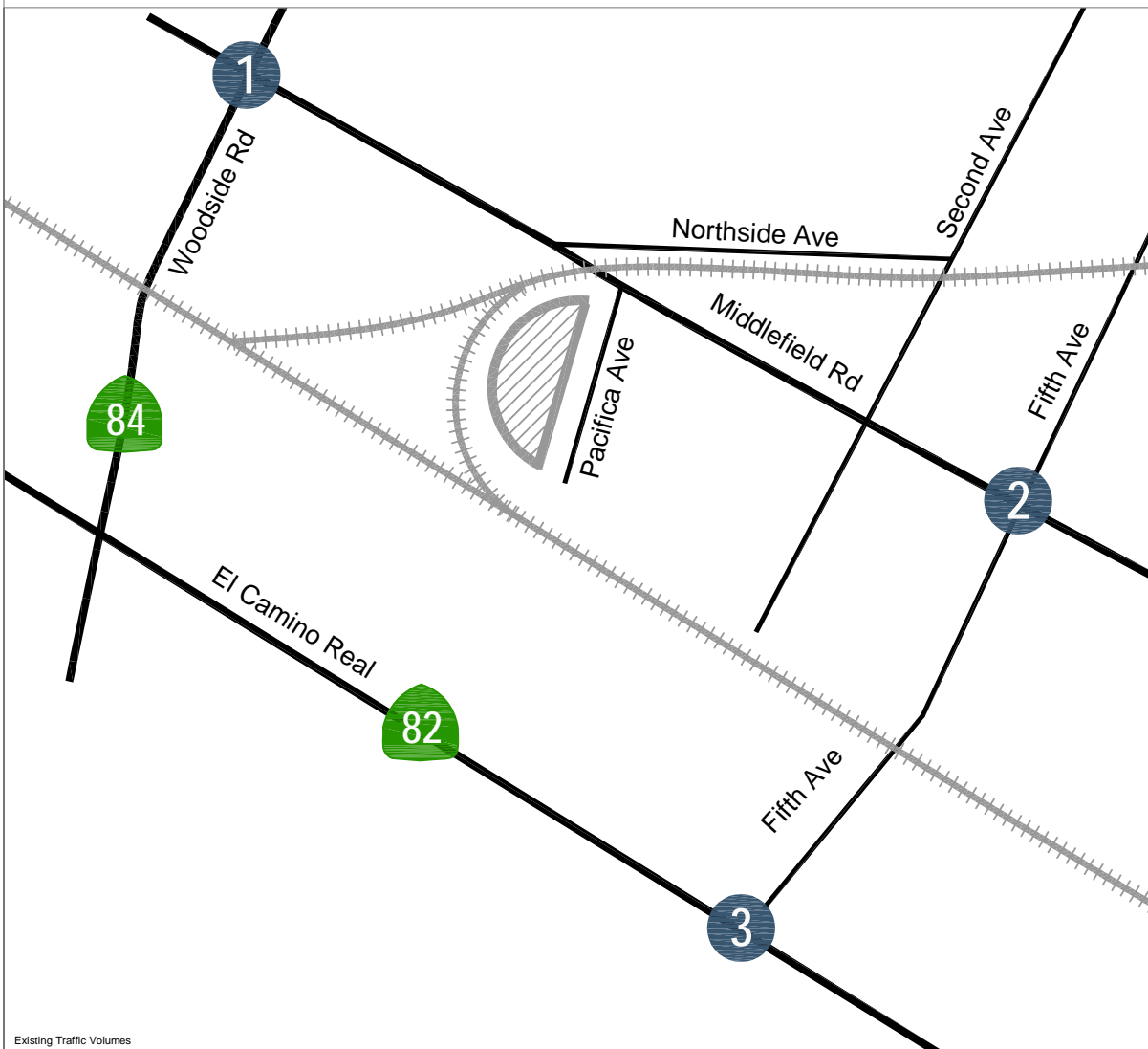


Figure 5
Existing Traffic Volume

<p>1</p> <p>Woodside Rd</p> <p>Middlefield Rd</p> <p>El Camino Real</p>	<p>2</p> <p>Middlefield Rd</p> <p>Fifth Ave</p>	<p>3</p> <p>Fifth Ave</p> <p>El Camino Real</p>
<p>62</p> <p>1152</p> <p>211</p> <p>149</p> <p>489</p> <p>70</p> <p>119</p> <p>1190</p> <p>515</p>	<p>46</p> <p>286</p> <p>63</p> <p>43</p> <p>418</p> <p>323</p> <p>207</p> <p>213</p> <p>35</p>	<p>48</p> <p>433</p> <p>20</p> <p>441</p> <p>192</p> <p>483</p> <p>588</p> <p>186</p> <p>1364</p>

LEGEND:



= Project Site Location

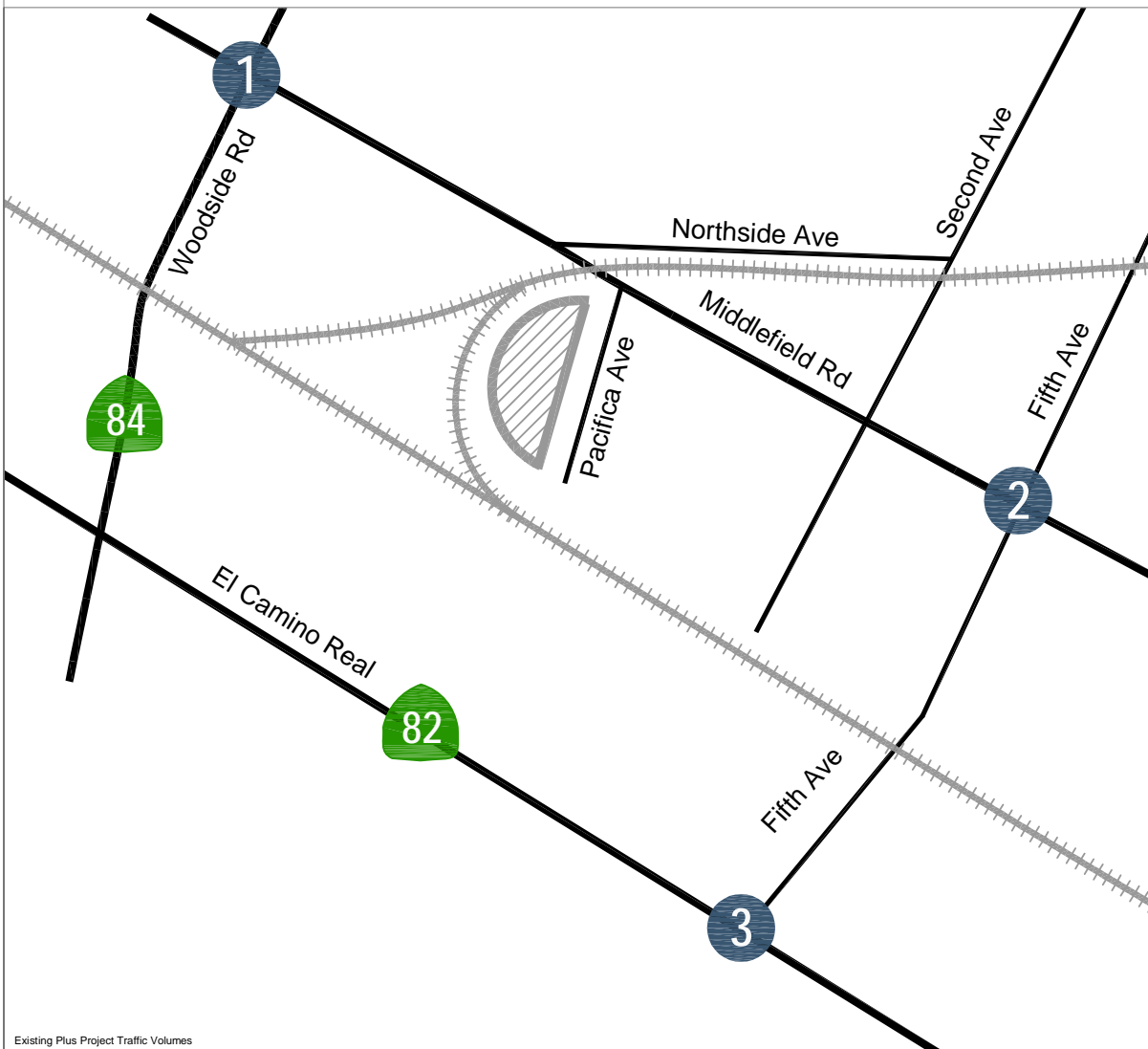


= Study Intersection

XX = PM Peak-Hour Traffic Volumes

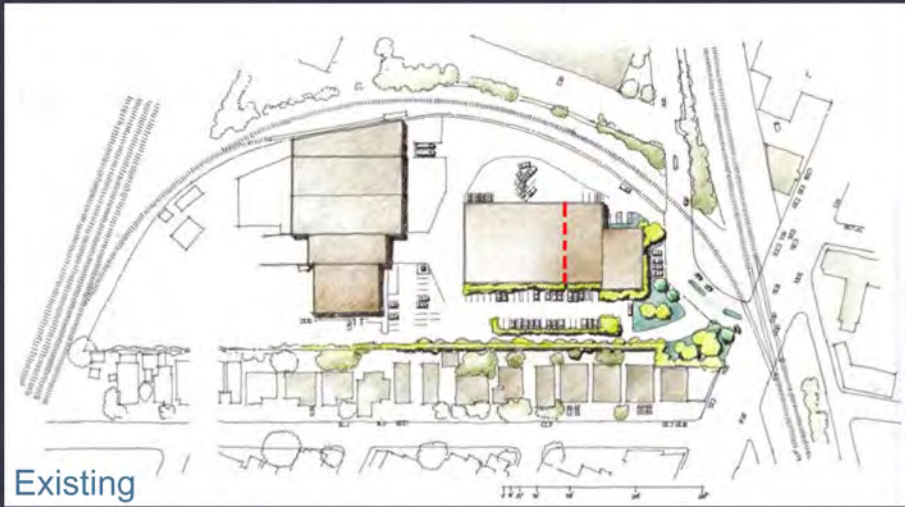


NORTH
Not to Scale

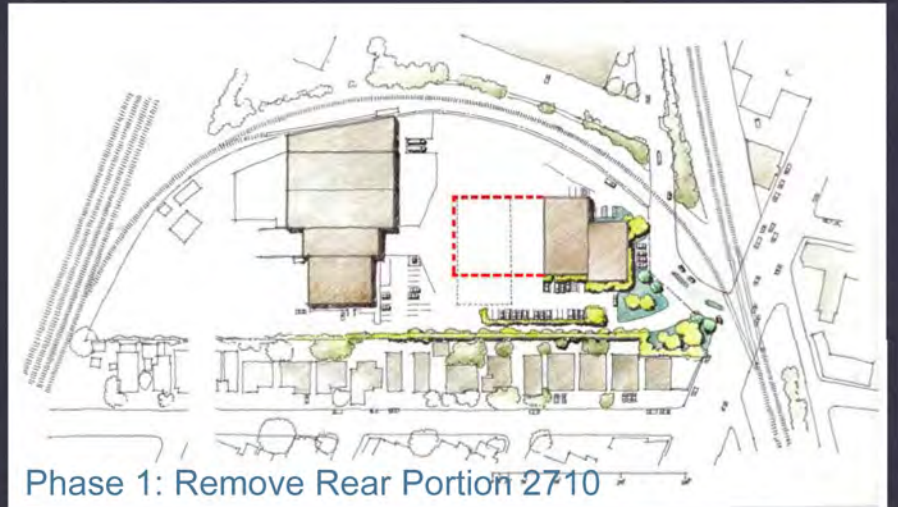


Existing Plus Project Traffic Volumes

Figure 7
Existing Plus Project Traffic Volumes



Existing
Conditions



Phase 1: Remove Rear Portion 2710
Building



Phase 2: Construct New Fair Oaks Clinic
Building



Phase 3: Remove Old 2710 Building, Construct
Parking

Phasing Diagram

2700 middlefield

Attachment Q